

**Albany Illustrations of Urban Design
Definitions**

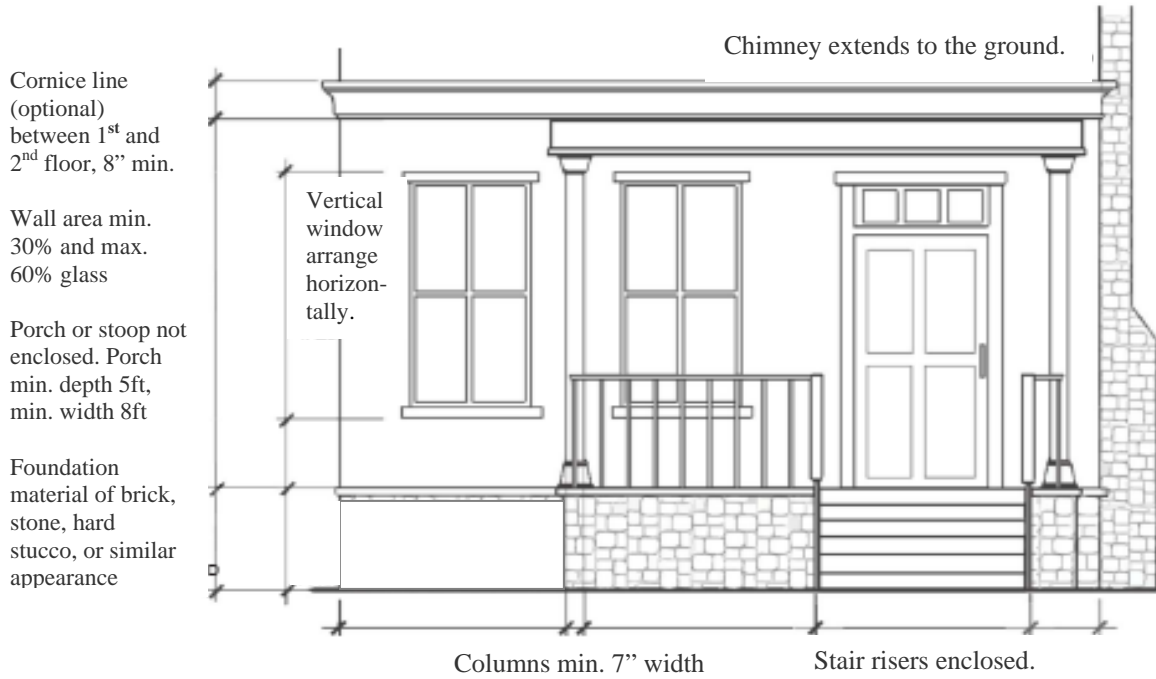
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Illustrations of Urban Design Definitions

The drawings within this section are graphic depictions of some of the definitions and related requirements herein. Unless otherwise indicated, each is intended to specifically illustrate only the indicated requirement; all other suggestions of design, such as architectural style, tree shape and aesthetics, do not constitute a requirement of this Section. Words in SMALL CAPS are words that are defined in the Zoning Ordinance.

RESIDENTIAL TREATMENT



RESIDENTIAL TREATMENT is provided on the first story of a STREET FACADE. Equally sized vertical windows are arranged horizontally with an entry stoop or porch on the STREET FACADE entrance.



Photos illustrate alternative applications.

SIDEWALK AREA and RESIDENTIAL TREATMENT

SIDEWALK LANDSCAPE ZONE

- Reserved for trees, ground cover, and street furniture
- Street furniture includes utility poles, waste receptacles, fire hydrants, traffic signs and control boxes, tree grates, newspaper boxes, bus shelters, bike racks, etc.

SIDEWALK CLEAR ZONE

- Reserved for pedestrian passage
- Unobstructed to min. 7ft height

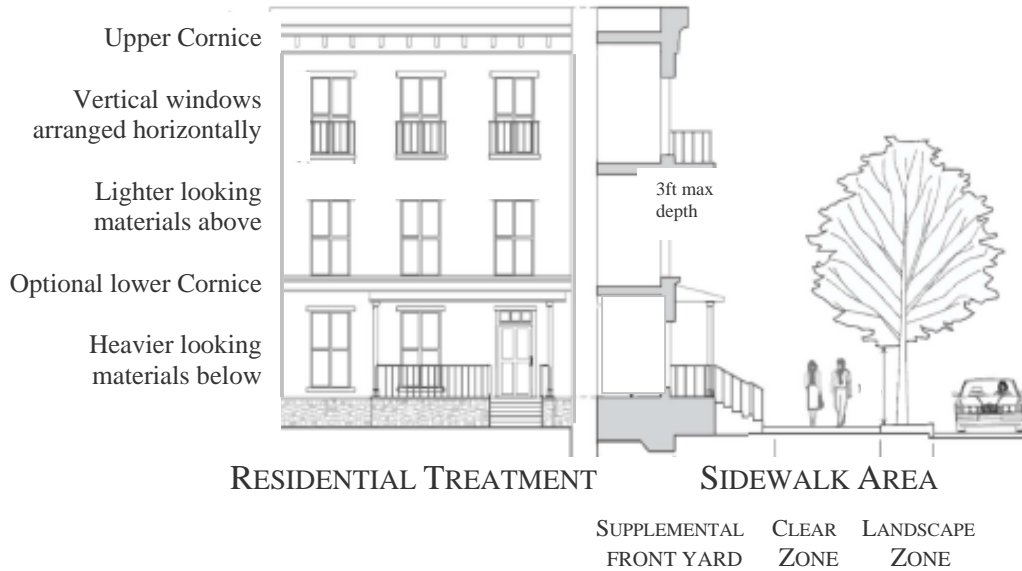
SUPPLEMENTAL FRONT YARD

- May be used for stoops, steps, porches, and landscaping

Photo illustrates an alternative application.



SUPPLEMENTAL FRONT YARD CLEAR ZONE LANDSCAPE ZONE



STOREFRONT TREATMENT

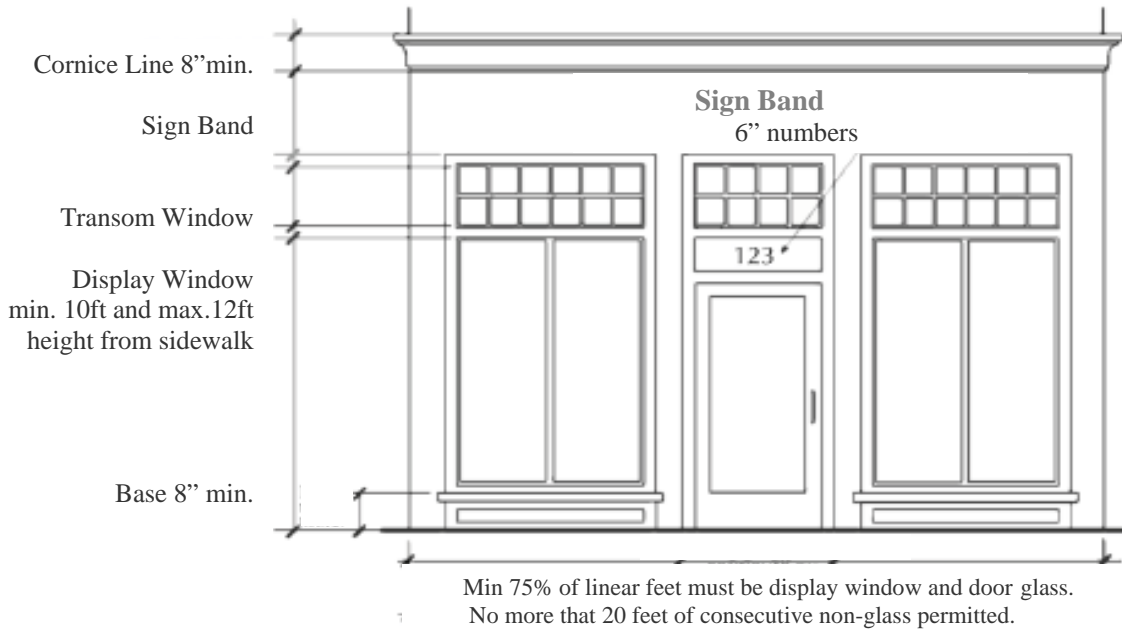
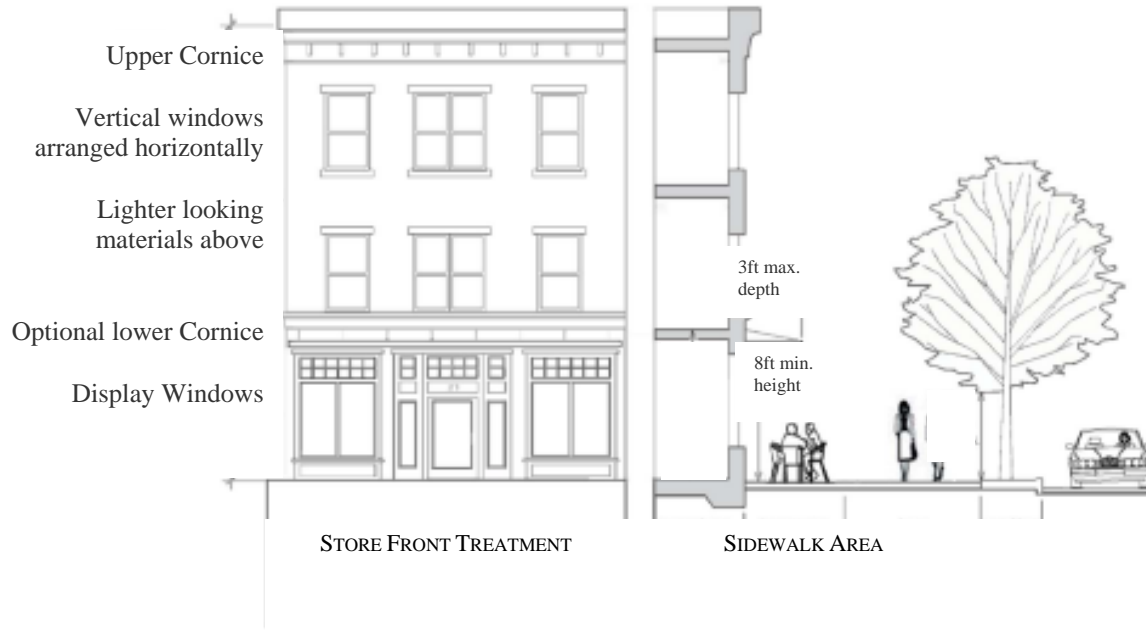


Photo illustrates an alternative application.

STOREFRONT TREATMENT is provided on the first story of a street facade. It includes a non-glass base or knee wall, glass display windows, a glass door, a glass transom, a non-glass sign band, a cornice line above the sign band, street address numbers, and a primary pedestrian entrance.

SIDEWALK AREA and STOREFRONT TREATMENT



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SUPPLEMENTAL FRONT YARD

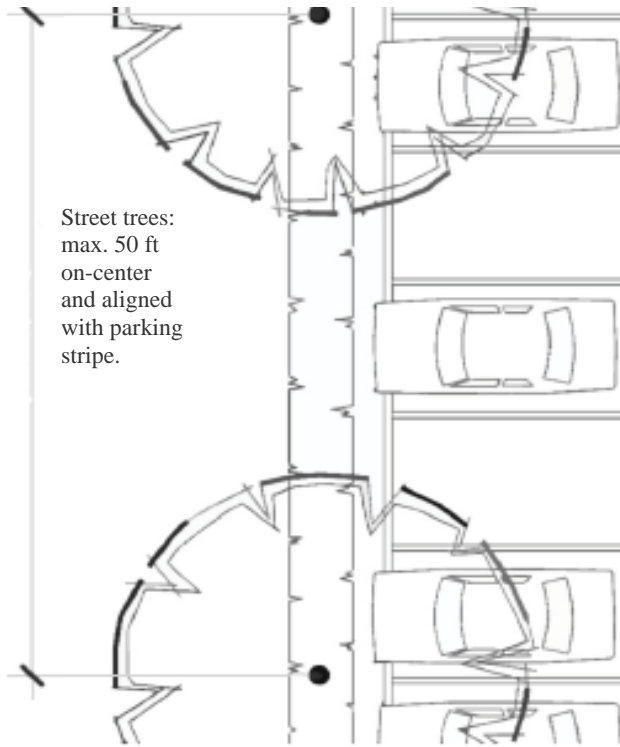
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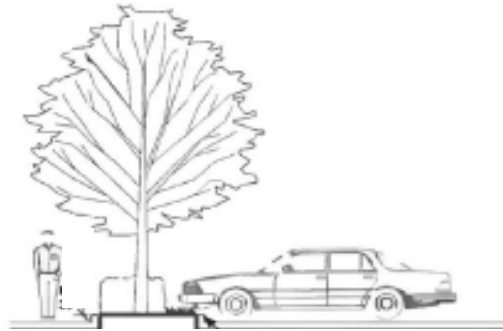
SUPPLEMENTAL FRONT YARD CLEAR ZONE LANDSCAPE ZONE

Photo illustrates an alternative application.

STREET WALL – Utilizing an Evergreen Hedge with Trees



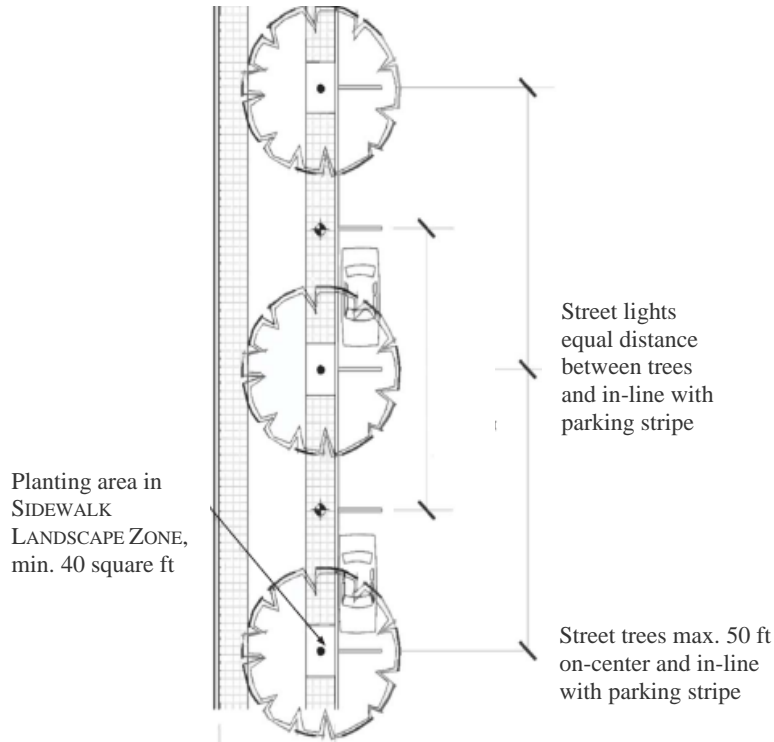
Where the end of a parking space has a permanent concrete or masonry curb and abuts a landscaped area that is a min. width of 6 ft, the depth of the parking space may be reduced by 2 ft.



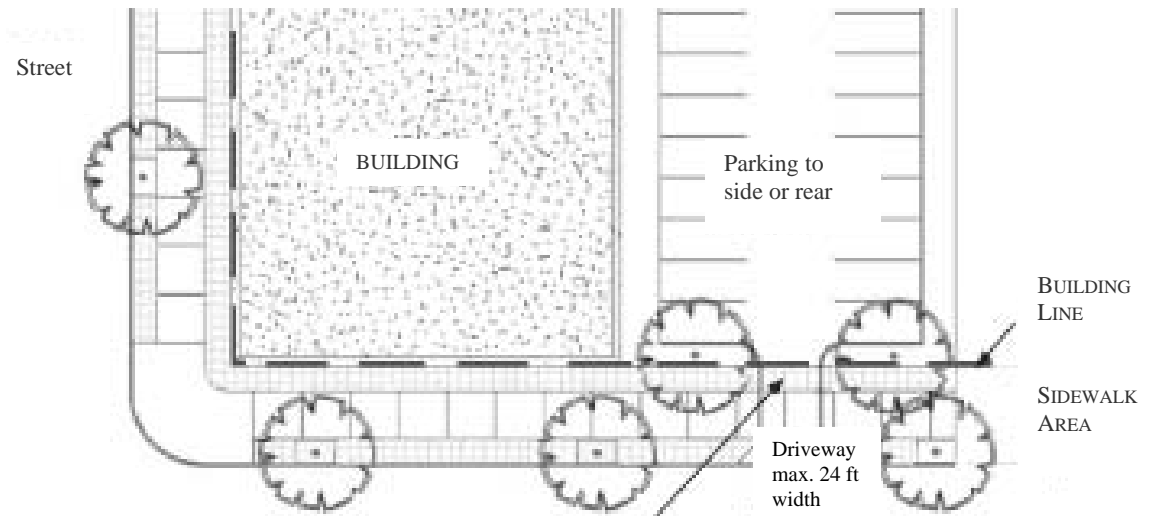
SIDEWALK AREA 7ft planting strip 2 ft overhang + 16 ft parking space = 18 ft.

Required length of parking space is reduced by 2 ft. where parking butts into planting strip with fixed

SIDEWALK AREA – Adjacent To On-Street Parking



SIDEWALK AREA – Crossing a Driveway Curb Cut

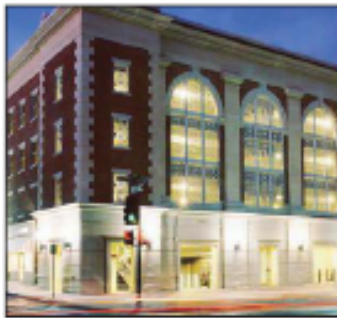
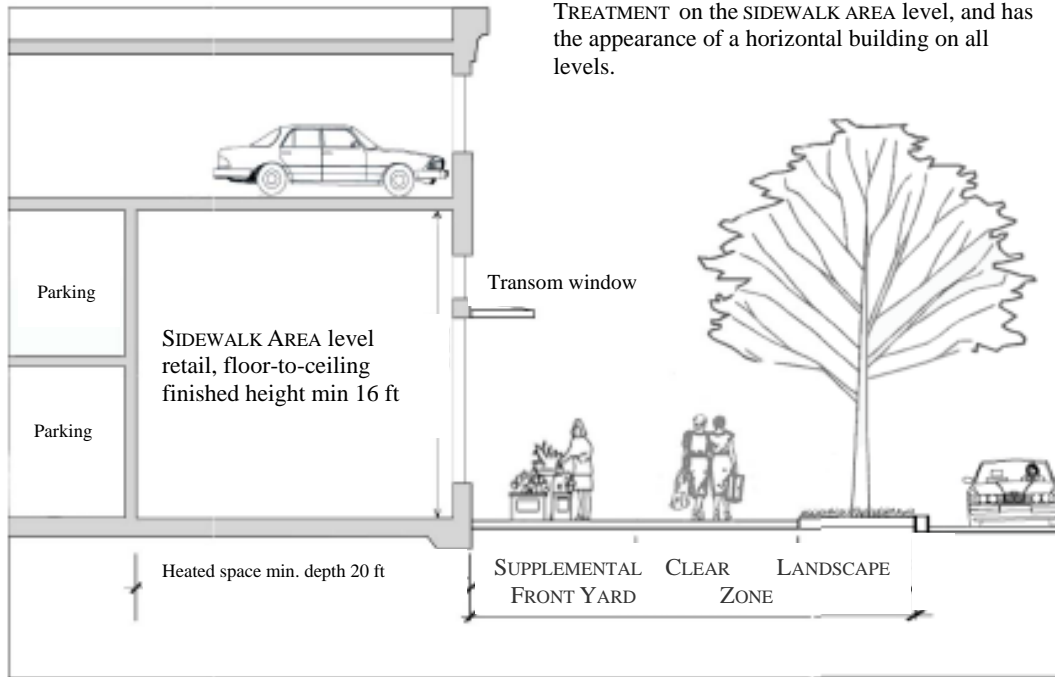


SIDEWALK AREA paving materials continue across intervening driveways.

STOREFRONT TREATMENT and SIDEWALK AREA

Parking Deck with Retail Storefront

All permitted structured parking has either a STOREFRONT TREATMENT or a RESIDENTIAL TREATMENT on the SIDEWALK AREA level, and has the appearance of a horizontal building on all levels.



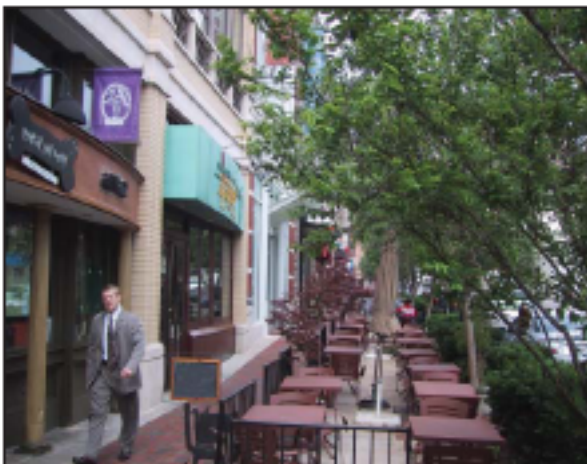
Photos illustrate alternative applications.

SIDEWALK AREA – Special Alternative Treatments with Administrative Approval by the Director of Planning and Zoning



OPTION: SIDEWALK LANDSCAPE ZONE combined with on-street parking

On certain streets where space is restricted, alternate on-street parking, street tree and SIDEWALK LANDSCAPE ZONE treatments may be approved, where the requirements for street trees within the SIDEWALK LANDSCAPE ZONE are met by locating landscape bulb-outs between on-street parking spaces.



OPTION: SUPPLEMENTAL FRONT YARD may be moved between SIDEWALK CLEAR ZONE and SIDEWALK LANDSCAPE ZONE when used for outdoor dining.

An alternate SUPPLEMENTAL FRONT YARD treatment may be approved where the SUPPLEMENTAL FRONT YARD is a minimum width of 10 ft and is located between the SIDEWALK LANDSCAPED ZONE and SIDEWALK CLEAR ZONE for the purpose of outdoor dining.

STOREFRONT TREATMENT

ILLUSTRATIONS OF ARCHITECTURAL STYLES

The following illustrations are Storefront Architectural Styles typically found in Downtown Albany. The illustrations are graphic depictions of specific requirements for renovation or new construction of buildings on designated Retail Streets and where Storefront Treatment is otherwise required. In addition to specific illustrated requirements, all other Riverfront District requirements shall be met.

Storefront Treatment, Architectural Style Example:

1. One-Part Commercial Block



- Limited to structures of one story.
- Structures are a single box with a decorated façade.
- The structures are usually attached to one another. In many cases, the street façade of a single storefront unit is narrow and composed of only plate glass windows, an entrance, and a cornice or parapet.
- Larger examples may have a unified, horizontal, and streamlined design that encompasses several storefronts.



From "The Buildings of Main Street: A Guide to American Commercial Architecture" by Richard Longstreth

Photos illustrate alternative applications.

Storefront Treatment, Architectural Style Example:

2. Two-Part Commercial Block



- Structures are two or more stories.
- Horizontally divided into two distinct zones, the first story being one of the zones.
- The first story, street level, indicates public spaces such as retail stores, banking lobbies, insurance offices, or hotel lobbies.
- The upper zone suggests more private spaces such as offices, hotels, or apartments.
- The façade characteristics of the two zones may not relate to one another.
- The upper zone may contain a variety of elements including an attic story.

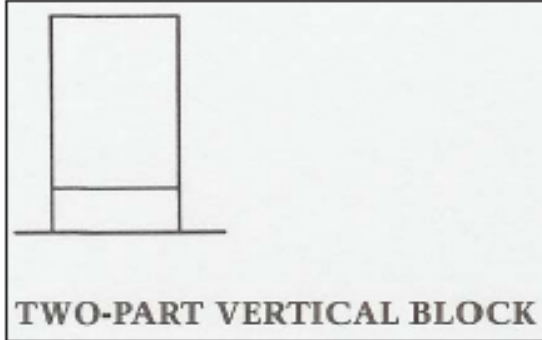


From "The Buildings of Main Street: A Guide to American Commercial Architecture" by Richard Longstreth

Photos illustrate alternative applications.

Storefront Treatment, Architectural Style Example:

3. Two-Part Vertical Block



- Must be at least three stories in height.
- Horizontally divided into major zones that are different yet carefully related to one another.
- Lower zone rises one or two stories and serves as a visual base for the upper zone.
- Upper zone is designed to emphasize the verticality of the building and function as a composed, unified whole.
- A transitional zone of one or two stories may exist between the upper and lower zones.
- Top story may have different window treatments.
- Roof is generally designed to appear flat.



From "The Buildings of Main Street: A Guide to American Commercial Architecture" by Richard Longstreth

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