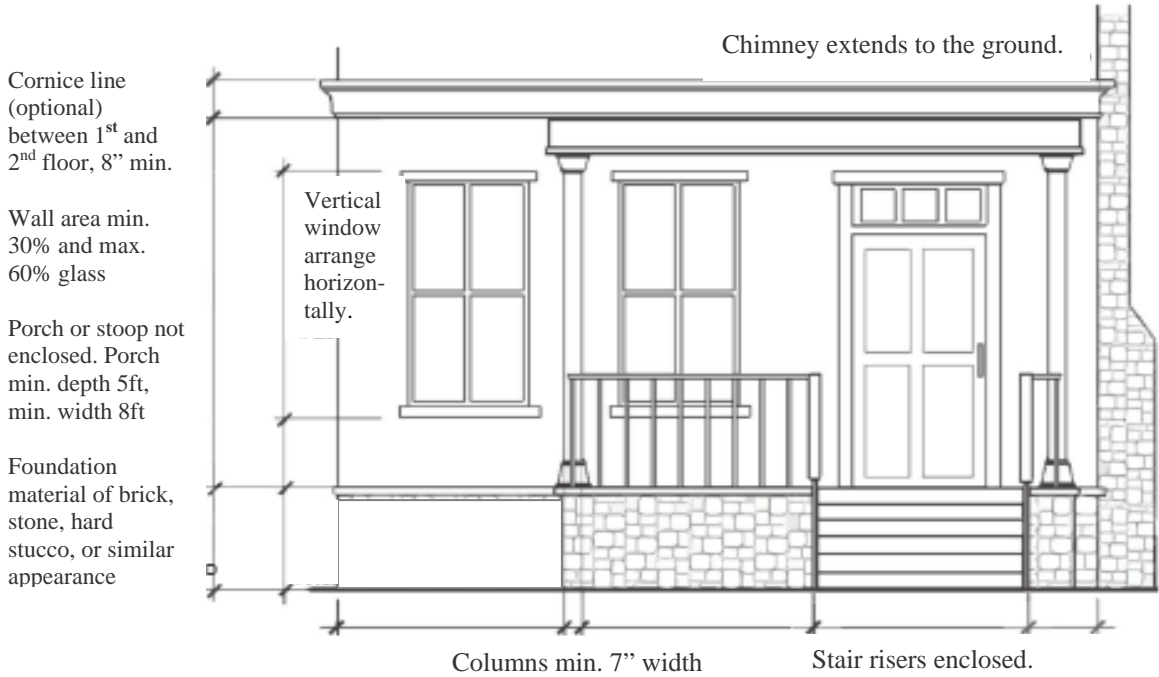


1. RESIDENTIAL TREATMENT



Photos illustrate alternative applications.

RESIDENTIAL TREATMENT is provided on the first story of a STREET FACADE. Equally sized vertical windows are arranged horizontally with an entry stoop or porch on the STREET FACADE entrance.



2. SIDEWALK AREA and RESIDENTIAL TREATMENT

SIDEWALK LANDSCAPE ZONE

- Reserved for trees, ground cover, and street furniture
- Street furniture includes utility poles, waste receptacles, fire hydrants, traffic signs and control boxes, tree grates, newspaper boxes, bus shelters, bike racks, etc.

SIDEWALK CLEAR ZONE

- Reserved for pedestrian passage
- Unobstructed to min. 7ft height

SUPPLEMENTAL FRONT YARD

- May be used for stoops, steps, porches, and landscaping

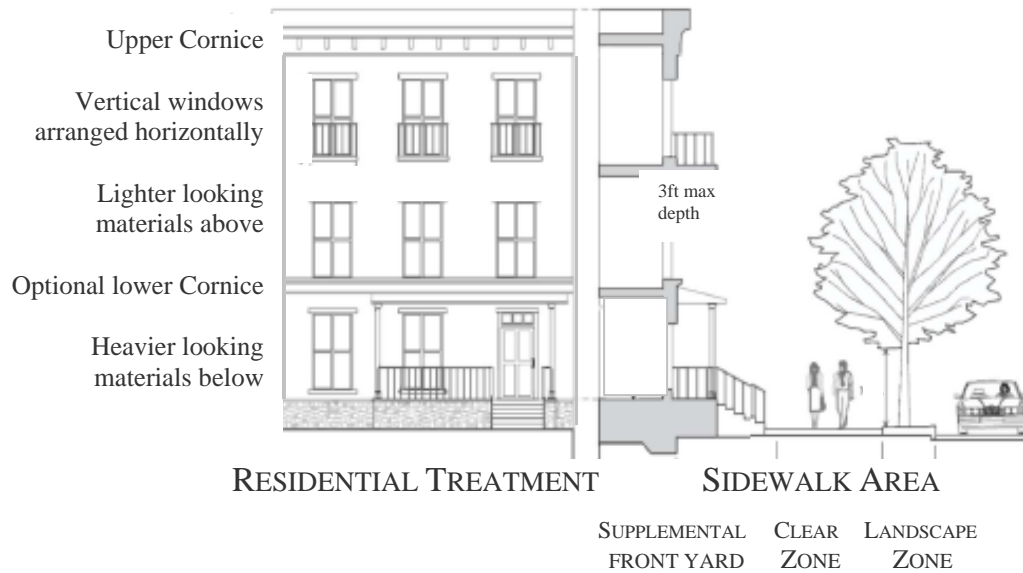
Photo illustrates an alternative application.



SUPPLEMENTAL
FRONT YARD

CLEAR
ZONE

LANDSCAPE
ZONE



3. STOREFRONT TREATMENT

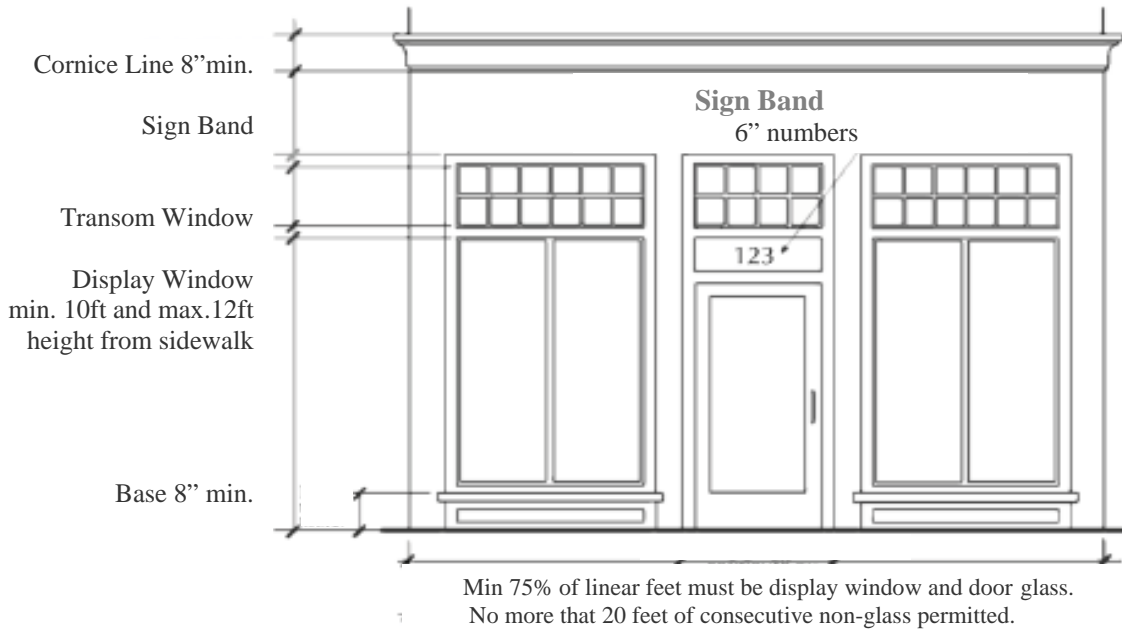
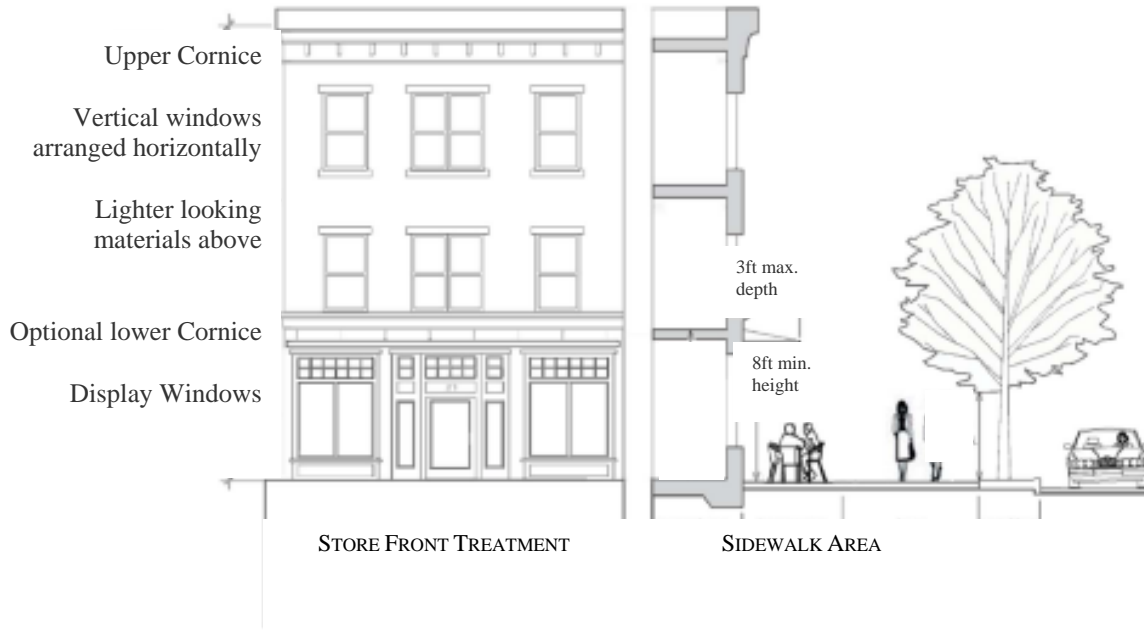


Photo illustrates an alternative application.

STOREFRONT TREATMENT is provided on the first story of a street facade. It includes a non-glass base or knee wall, glass display windows, a glass door, a glass transom, a non-glass sign band, a cornice line above the sign band, street address numbers, and a primary pedestrian entrance.

4. SIDEWALK AREA and STOREFRONT TREATMENT



SIDEWALK LANDSCAPE ZONE

- Reserved for trees, ground cover and street furniture
- Street furniture includes utility poles, waste receptacles, fire hydrants, traffic signs and control boxes, tree grates, newspaper boxes, bus shelters, bike racks, etc.

SIDEWALK CLEAR ZONE

- Reserved for pedestrian passage
- Unobstructed to min. 7ft height

SUPPLEMENTAL FRONT YARD

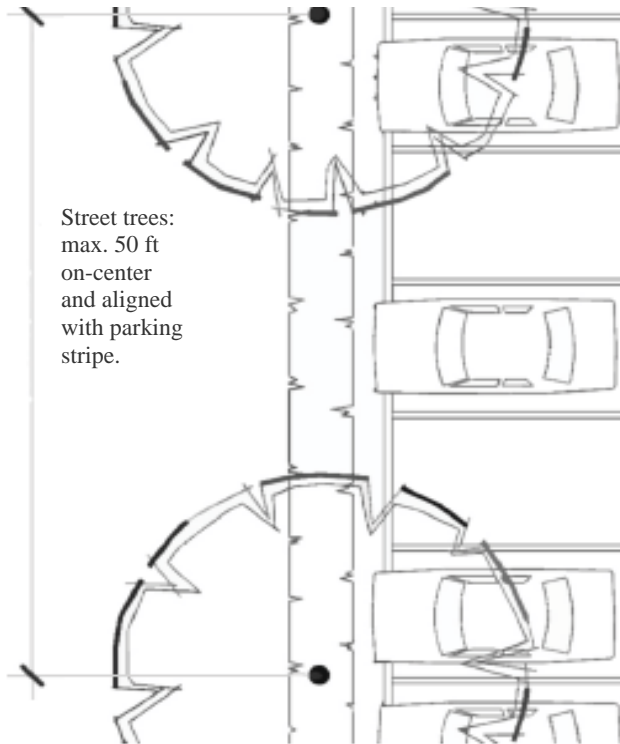
- May be used for stoops, steps, porches, and landscaping



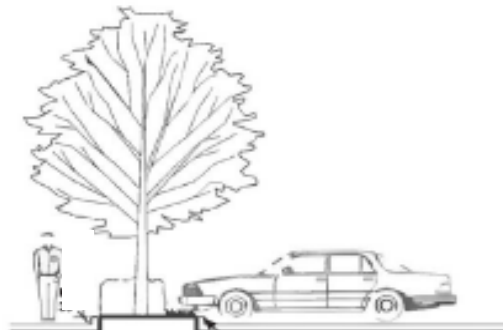
SUPPLEMENTAL FRONT YARD CLEAR ZONE LANDSCAPE ZONE

Photo illustrates an alternative application.

5. STREET WALL – Utilizing an Evergreen Hedge with Trees



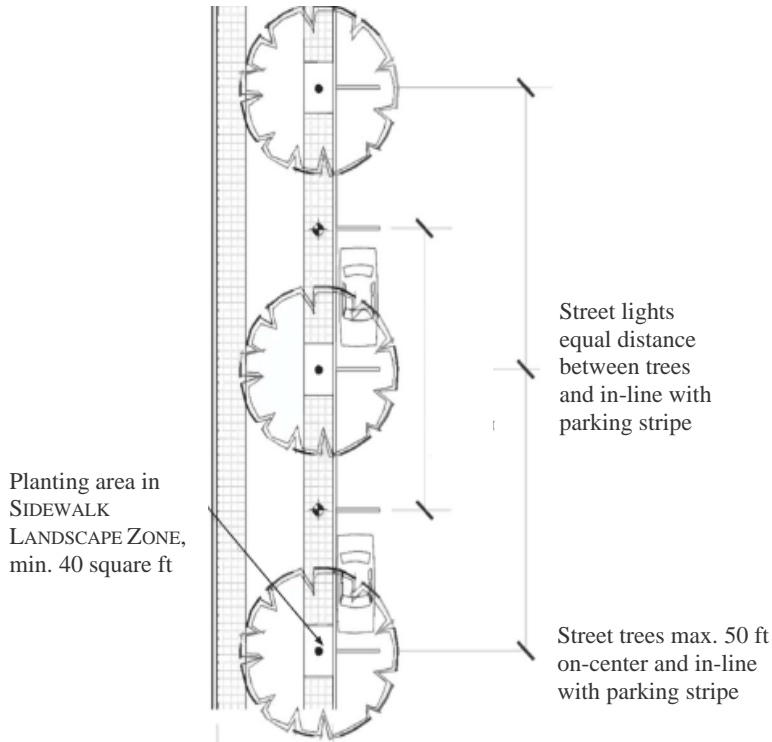
Where the end of a parking space has a permanent concrete or masonry curb and abuts a landscaped area that is a min. width of 6 ft, the depth of the parking space may be reduced by 2 ft.



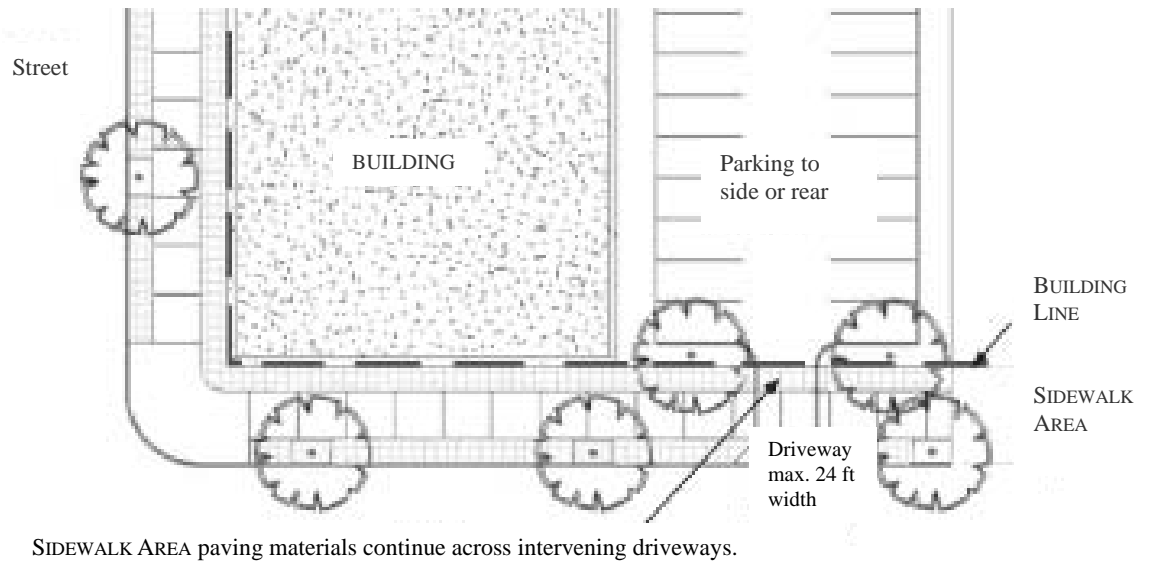
SIDEWALK AREA 7ft planting strip 2 ft overhang + 16 ft parking space = 18 ft.

Required length of parking space is reduced by 2 ft. where parking butts into planting strip with fixed

6. SIDEWALK AREA – Adjacent To On-Street Parking



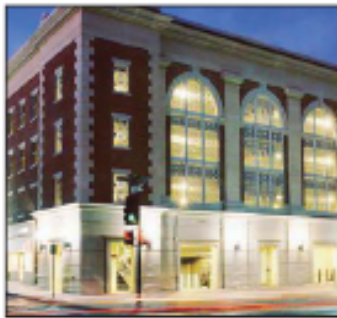
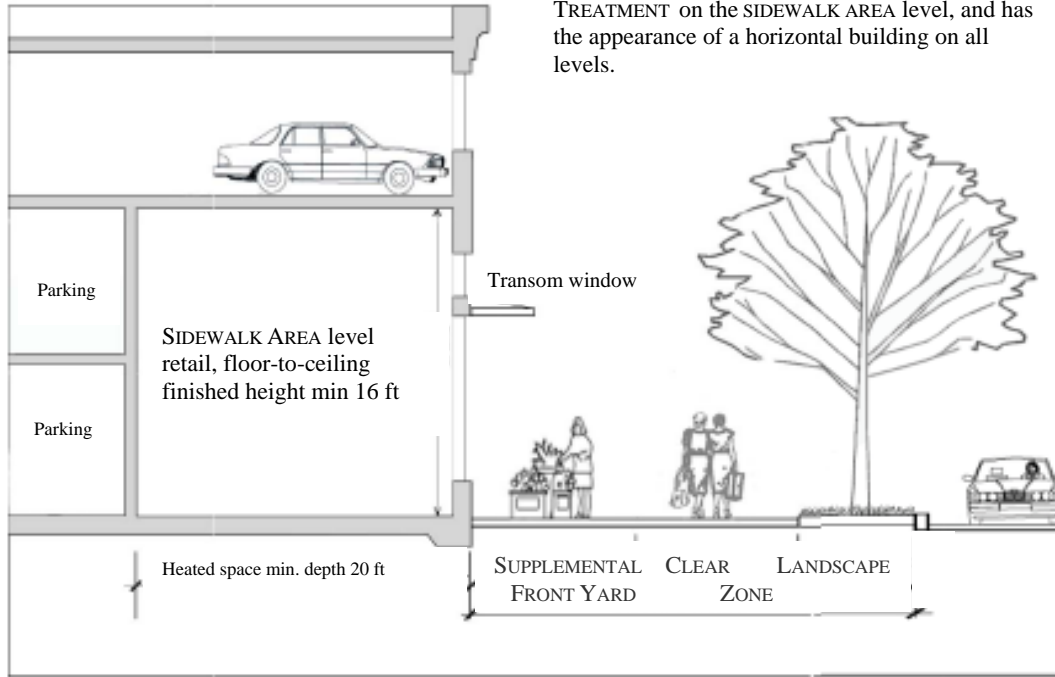
7. SIDEWALK AREA – Crossing a Driveway Curb Cut



8. STOREFRONT TREATMENT and SIDEWALK AREA

Parking Deck with Retail Storefront

All permitted structured parking has either a STOREFRONT TREATMENT or a RESIDENTIAL TREATMENT on the SIDEWALK AREA level, and has the appearance of a horizontal building on all levels.



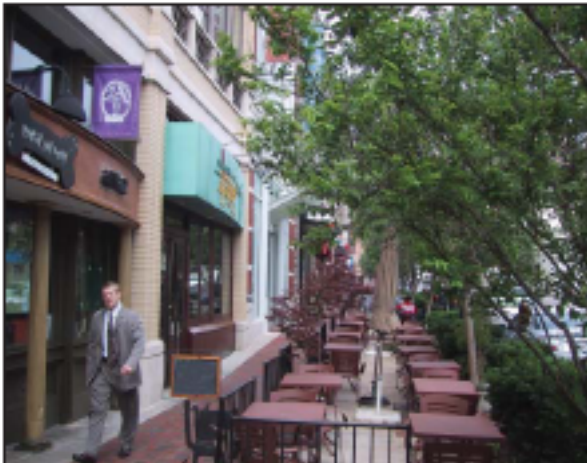
Photos illustrate alternative applications.

9. SIDEWALK AREA – Special Alternative Treatments with Administrative Approval by the Director of Planning and Zoning



OPTION: SIDEWALK LANDSCAPE ZONE combined with on-street parking

On certain streets where space is restricted, alternate on-street parking, street tree and SIDEWALK LANDSCAPE ZONE treatments may be approved, where the requirements for street trees within the SIDEWALK LANDSCAPE ZONE are met by locating landscape bulb-outs between on-street parking spaces.



OPTION: SUPPLEMENTAL FRONT YARD may be moved between SIDEWALK CLEAR ZONE and SIDEWALK LANDSCAPE ZONE when used for outdoor dining.

An alternate SUPPLEMENTAL FRONT YARD treatment may be approved where the SUPPLEMENTAL FRONT YARD is a minimum width of 10 ft and is located between the SIDEWALK LANDSCAPED ZONE and SIDEWALK CLEAR ZONE for the purpose of outdoor dining.